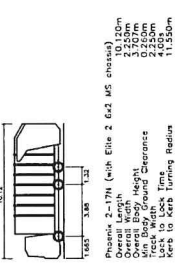


**GENERAL NOTES**

- Do not scale the drawing, if in doubt, ask.
- These sheets are to be read in conjunction with all relevant architectural, engineer's and specialist drawings and specifications.
- All work shall be in accordance with the Traffic Signs Signs Manual, Chapter 5, and Sections 202 and 203.
- All highway works to be carried out in accordance with Worcestershire County Council design guide and specifications. All signs to be installed in accordance with the Traffic Signs Signs Manual, Chapter 5, and Sections 202 and 203.

**KEY**

- Full depth temporary construction.
- Full depth permanent construction.
- Position stopped crossing proposed bus stop and bus stop sign type (to be shown).
- Proposed bus stop.
- Proposed bus stop sign.



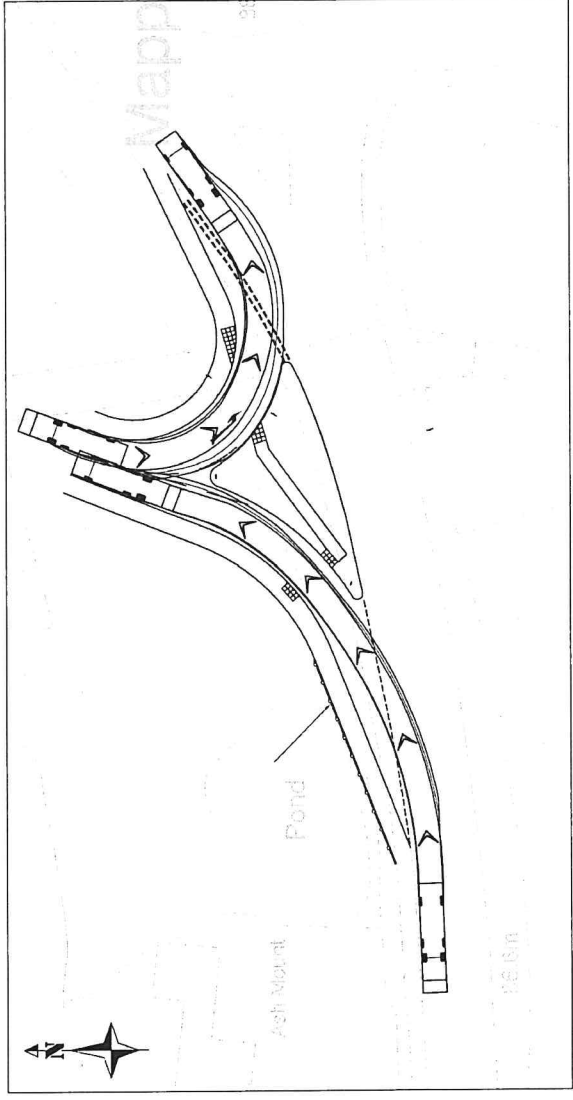
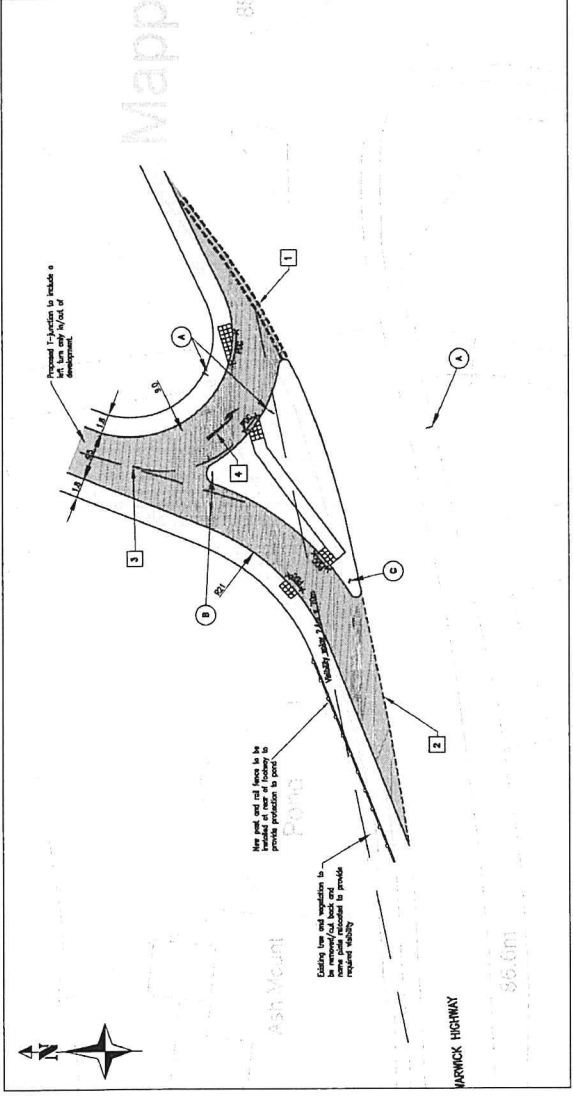
Phenolic 2-17H (Keh) Elite 2 (x2 MS chassis) 2000mm  
 Overall width 2000mm  
 Overall height 2000mm  
 Overall depth 1000mm  
 Sun Body Ground Clearance 400mm  
 Lock to Lock Time 400mm  
 Kurb to Kurb Turning Radius 1150mm

TSR Ref	Description	Quantity
A	Standard size BS1 reflective rectangular sign post 600mm high x 600mm wide	2
B	100 Heritage Safety Plus (ref 10162) with exit sign (ref 10163) and 300mm corner lamp	1
C	100 Heritage Safety Plus (ref 10162) with exit sign (ref 10163) and 300mm corner lamp	1

TSR Ref	Dimensions	Length
1	600mm long, 300mm high, 200mm wide	6.5m
2	600mm long, 300mm high, 100mm wide	7m
3	400mm long, 200mm high, 100mm wide	6m
4	400mm long arrow (left)	-



Form Ref: High House Farm	Notes
Form Ref: High House Farm	See sheet 200001
Form Ref: High House Farm	See sheet 200002
Form Ref: High House Farm	See sheet 200003
Form Ref: High House Farm	See sheet 200004
Form Ref: High House Farm	See sheet 200005
Form Ref: High House Farm	See sheet 200006
Form Ref: High House Farm	See sheet 200007
Form Ref: High House Farm	See sheet 200008
Form Ref: High House Farm	See sheet 200009
Form Ref: High House Farm	See sheet 200010
Form Ref: High House Farm	See sheet 200011
Form Ref: High House Farm	See sheet 200012
Form Ref: High House Farm	See sheet 200013
Form Ref: High House Farm	See sheet 200014
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Form Ref: High House Farm	See sheet 200016
Form Ref: High House Farm	See sheet 200017
Form Ref: High House Farm	See sheet 200018
Form Ref: High House Farm	See sheet 200019
Form Ref: High House Farm	See sheet 200020
Form Ref: High House Farm	See sheet 200021
Form Ref: High House Farm	See sheet 200022
Form Ref: High House Farm	See sheet 200023
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Form Ref: High House Farm	See sheet 200097
Form Ref: High House Farm	See sheet 200098
Form Ref: High House Farm	See sheet 200099
Form Ref: High House Farm	See sheet 200100



PROJECT: HIGH HOUSE FARM  
 MAPPLEBOROUGH GREEN  
 WARWICKSHIRE  
 PROPOSED ACCESS  
 OPTION 1  
 CLIENT: WILBRAHAM ASSOCIATES  
 DRAWING NUMBER: 20698\_03\_002  
 DATE: 06.06.13  
 SHEET TITLE: C A1  
 DRAWN BY: GM  
 CHECKED BY: AB  
 SCALE: 1:250  
**MPEC**

Traffic Signs		
TSR Ref	Description	Quantity
(A) 612	class B20 retroreflective traffic sign mounted 2.4m high on a single post, 600mm high x 600mm wide	3
(B)	1MP Package Saboteur Plus (ref 101601) with cast-in cone (ref 100006) and 300mm diameter 'keep left' aspect.	1
(C)	1MP Package Saboteur Plus (ref 101601) with cast-in cone (ref 100006) and 300mm diameter black aspect.	1

Road Markings		
TSR Ref	Dimensions	Length
1	600mm long, 300mm gap, 200mm wide	6.5m
2	600mm long, 300mm gap, 100mm wide	7m
3	4000mm long, 2000mm gap, 100mm wide	8m
4	4000mm long arrow (left)	-

Scheme Ref. High House Farm	
Sign Ref. A	x-height.
Letter Colour.	BLACK
Background.	WHITE
Border.	RED
Material.	Class Ref. 2
Area	0.28m <sup>2</sup>

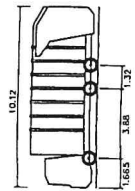
POST(S) & FOUNDATIONS	
Mounting Height	2400mm
Number	1
Base Width	700mm
Base Length	800mm
Base Depth	600mm
Spacing	-
Base Vol.	0.34m <sup>3</sup>
Illumination	No
Earth Cover	1000mm

### GENERAL NOTES

- Do not scale this drawing. If in doubt, ask.
- This drawing is to be read in conjunction with all relevant architect's, engineer's and specialist drawings and specifications.
- All white lining to be in accordance with the Traffic Signs and Regulations and General Directions 2002 and Traffic Signs Manual, Chapter 5.
- All highway works to be carried out in accordance with Warwickshire County Council's design guide and specifications.
- All works to be to BS 2 unless stated otherwise. Back of footway to be edge with EF.

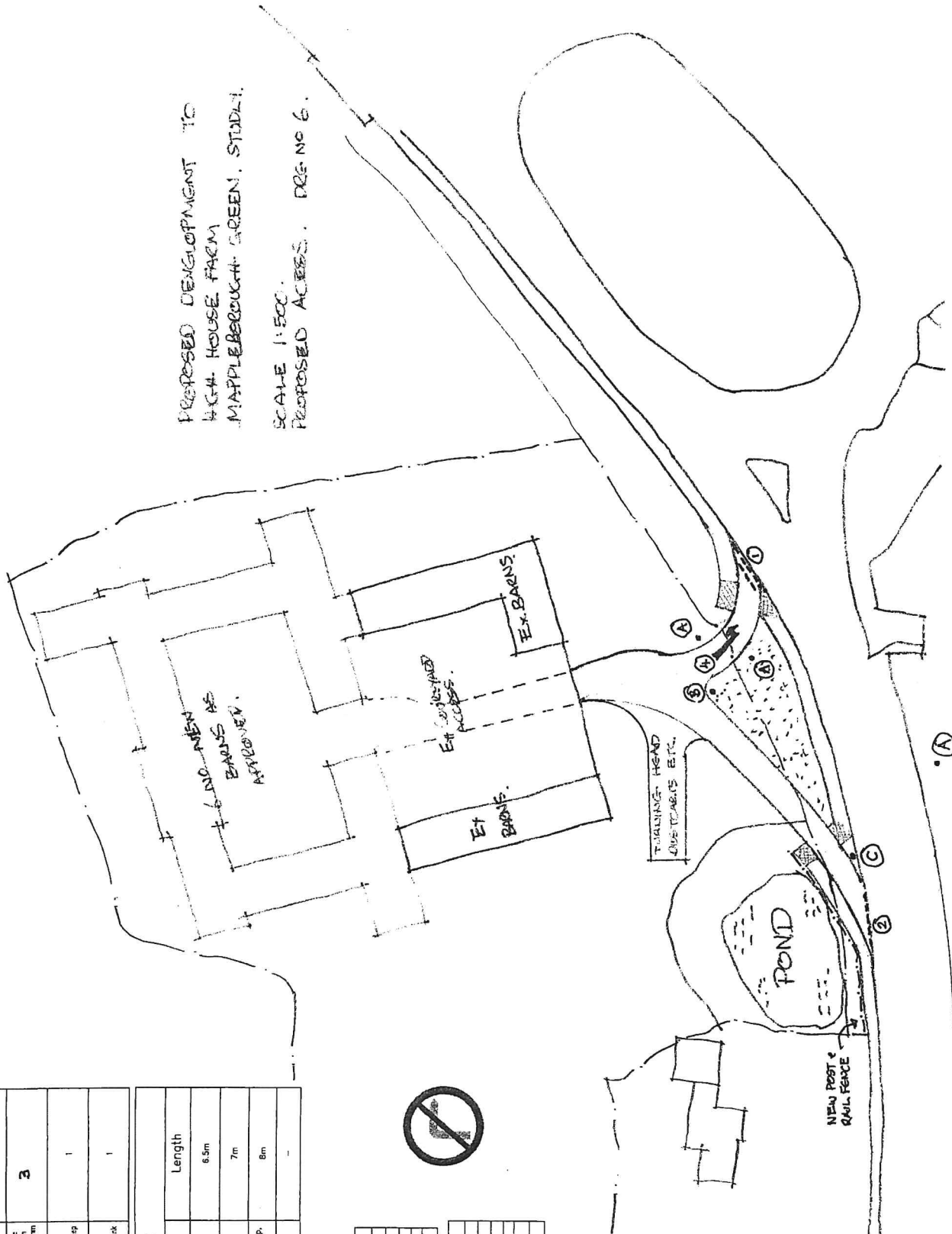
### KEY

- Full depth scrippage construction
- Full depth bituminous footway construction.
- Pedestrian dropped crossing comprising 2no. dropper and 2no. dropped kerbs type B8 (even upland)
- A minimum of 2 rows of buff coloured tactile paving with the modules laid in line with the crossing.



- Phoenix 2=17N (with Elite 2 6x2 MS chassis) 1.20m
- Overall Length 3.250m
- Overall Width 3.707m
- Overall Body Height 2.250m
- Track Width 2.250m
- Lock to Lock Time 4.00s

PROPOSED DEVELOPMENT TO HIGH HOUSE FARM MAPLEBROOK GREEN, STODLEY.  
SCALE 1:500.  
PROPOSED ACCESS. DRG NO 6.



Your ref: 16/00253/VARY  
My ref: 160253  
Your Letter Sent: 03/02/2016



**Communities Group**

PO Box 43  
Shire Hall  
Warwick  
CV34 4SX

**Tel: (01926) 412386**  
Fax: (01926) 412641  
benmalin@warwickshire.gov.uk  
www.warwickshire.gov.uk

Robert Weeks  
Head of Environment and Planning  
STRATFORD-ON-AVON DISTRICT COUNCIL  
Elizabeth House, Church Street  
Stratford-upon-Avon  
CV37 6HX

**FAO : Erin Weatherstone**

15 March 2016

Dear Mr Weeks

**PROPOSAL:** Variation of condition 4 (approved access) of 12/02830/OUT for the 'Demolition of former farmhouse and erection of second courtyard range of barns to provide new housing (6 residential units) and associated works including revised access arrangements' to make amendments to the proposed site access.

**LOCATION:** High House Farm, Birmingham Road, Mappleborough Green, Studley, B80 7DF.

**APPLICANT:** Mr G Gilbert

Prior to submitting the above application, the applicant sought pre-application advice from the Highway Authority, to discuss the development proposals.

The proposed alterations to the access arrangements will retain the approved in-out arrangement however, the central island shall be extended. By extending the central island, the existing oak tree shall remain however, if the Highway Authority are satisfied that the required visibility splays of 59 metres can be achieved if the tree remains. The Highway Authority are also satisfied that the design of the ingress and egress access arms will prevent vehicles turning right into/out of the site. Should the access works require the relocation of traffic signs, the new position shall be agreed with Warwickshire County Councils Traffic and Road Safety Team.

Therefore, the response of Warwickshire County Council as the Local Highway Authority to the above application is one of **NO OBJECTION**, subject to the following condition:

1. The proposed access arrangements shall be constructed in general accordance with drawing no. 6.

*Working for  
Warwickshire*

RE: Mappleborough Green Care Home section 278

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From: [REDACTED]  
To: [REDACTED]@valtd.co.uk  
Date: Thu, 3 Mar 2022, 11:25  
doc11500120220303123255.pdf 909 KB

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From: [REDACTED]  
To: chisround@warwickshire.gov.uk , Mappleborough Green Parish Council  
clerk@mg-pc.uk  
Date: Thu, 3 Mar 2022, 11:45  
doc11500120220303123255.pdf 909 KB

Hi Chris

Thank you once again for coming out to see the problem. I have attached documents that were submitted with the planning application and as the planning was granted highways were obviously satisfied with access. This access was previously in place or the previous planning for the 10 houses which was also granted.

I hope that the attachments clarify the situation and surely from a costing standpoint the developers would be liable to foot the bill rather than using council taxpayers money.

Please can you keep me and the parish council informed and if I can help please do not hesitate in contacting me.

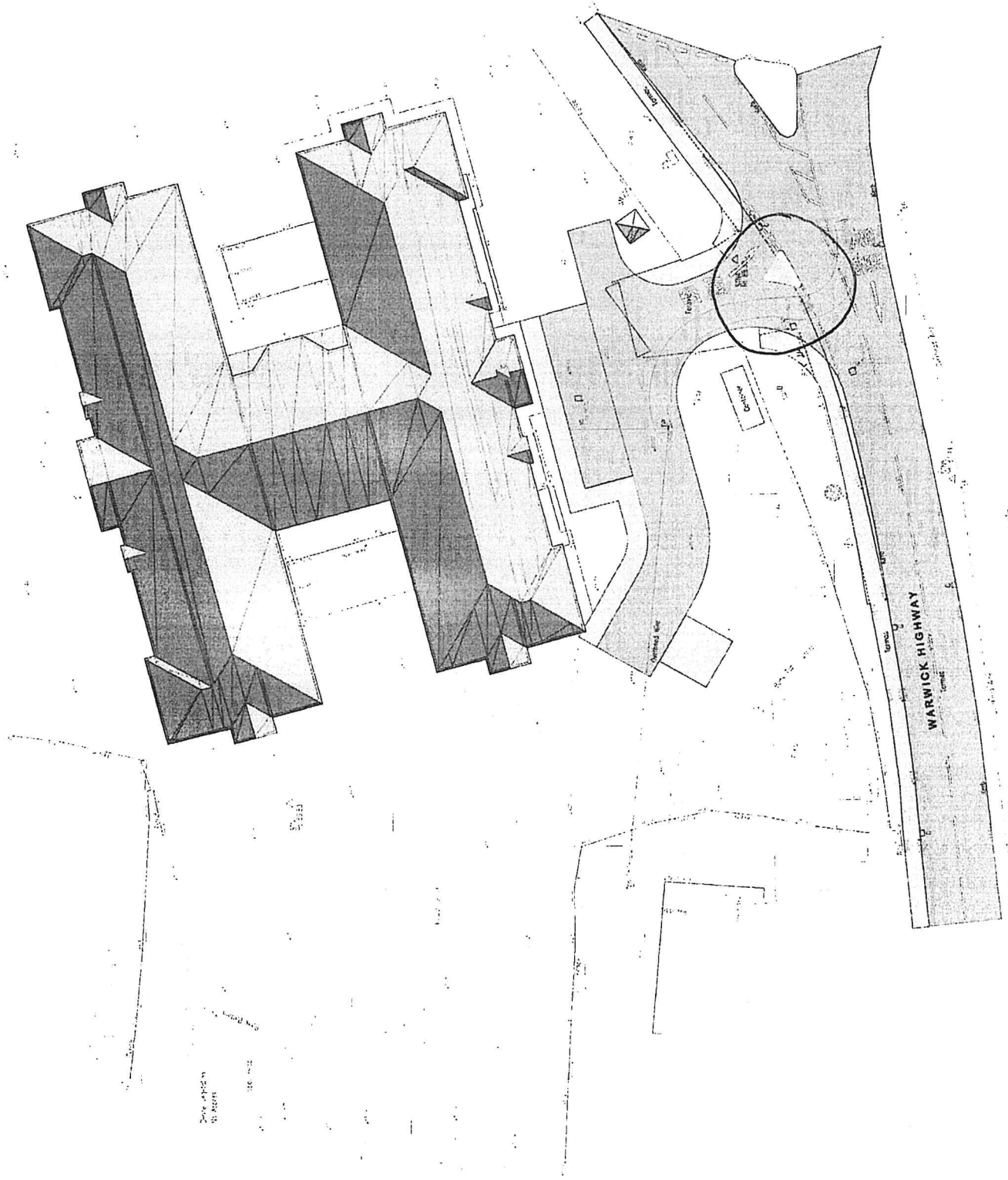
Kind regards **Maureen**

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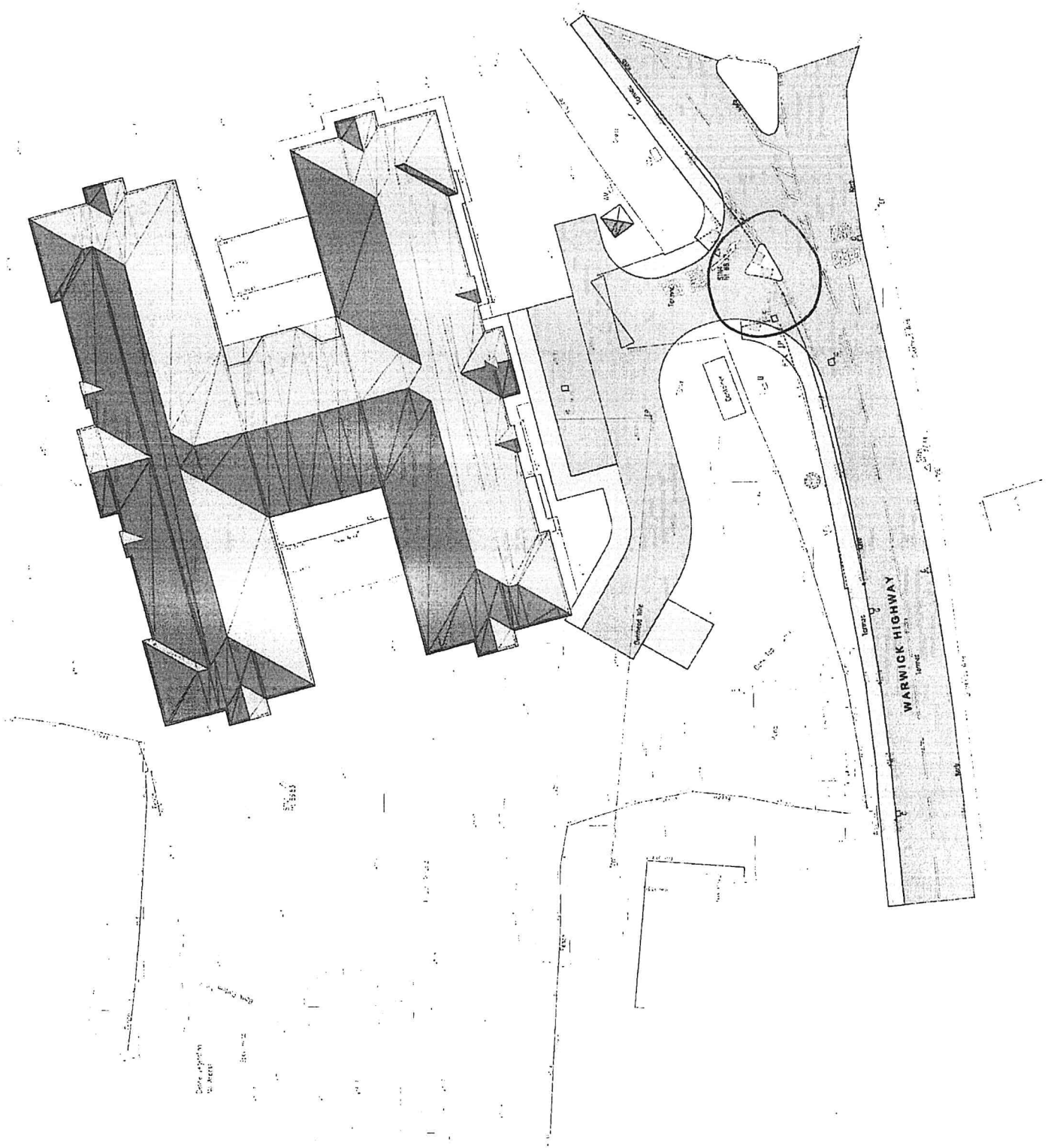
From: Clerk clerk@mg-pc.uk  
To: [REDACTED]  
Date: Thu, 3 Mar 2022, 16:17

Scale 1:1000



Zone 1000  
to 1000

Sup. 1000



Drive adjacent to street

Street

1st St

2nd St

3rd St

4th St

WARWICK HIGHWAY

5th St

6th St

7th St

8th St

9th St

10th St

11th St

12th St

13th St

14th St

15th St

16th St

17th St

18th St

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